

Planning Commission

Special Meeting Agenda

Thursday, June 20, 2013
7:00 p.m., Council Chambers



1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Interested Citizens in the Audience Will be Heard on Items Not on the Agenda
5. New Business

SITE PLAN REVIEW

A request for site plan approval for improvements to the property known as Central Lofts, 500 Erie Street.

6. Commissioner Comments

7. Adjourn

RESPECTFULLY SUBMITTED,
Linda Anderson, Zoning Administrator

South Haven City Hall is Barrier-free and the City of South Haven will provide the necessary reasonable auxiliary aids and services for persons with disabilities, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities at the meeting upon seven (7) days notice to the South Haven City Clerk. Individuals with disabilities requiring services should contact the City Clerk by writing or calling South Haven City Hall at (269) 637-0700.



**Agenda Item #5
Site Plan Review
500 Erie Street**

City of South Haven

Background Information: The Central Lofts building was recently purchased by Erie Street LLC, as represented by Larry Hollenbeck of Kalamazoo. It is the intention of the new owner to finish the parking lot, complete the main condominium area with four (4) additional units and add a patio area to the north side of the building.

This project received special use approval for a condominium project in 2008. The project was stopped after 23 condo units were finished. No work has been completed in the last few years. The condominium approval does not expire but the site plan approval expired after one year with no activity. (The applicant has been given a building permit for replacement windows. Since window replacement is considered maintenance, it did not require planning commission approval.)

The building closest to Broadway Street and the smaller building along Superior Street are not part of this project. If the developer should choose to develop those buildings in the future, additional planning commission site plan approvals, including additional parking, will be required.

The developer has requested a special meeting in order to move the project forward to completion this summer.

Recommendation:

Previous concerns of the zoning administrator and city engineer have been addressed with this submittal. Any remaining concerns the engineer may have will need to be corrected before a building permit is issued.

Staff recommends approval of the site plan with the following conditions:

1. Resolution of any engineering issues which may remain prior to the issuance of a building permit, and
2. No activity may occur beyond that which is specifically approved by this site plan. That includes both buildings noted as future development.

Support Material:

Completed application w/attachments and narrative
Staff zoning review

Letter from city engineer

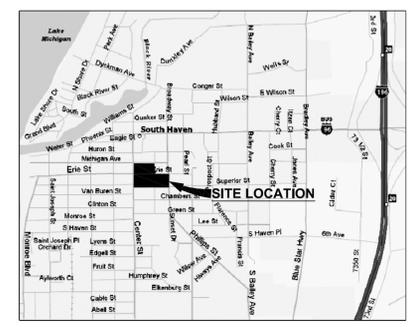
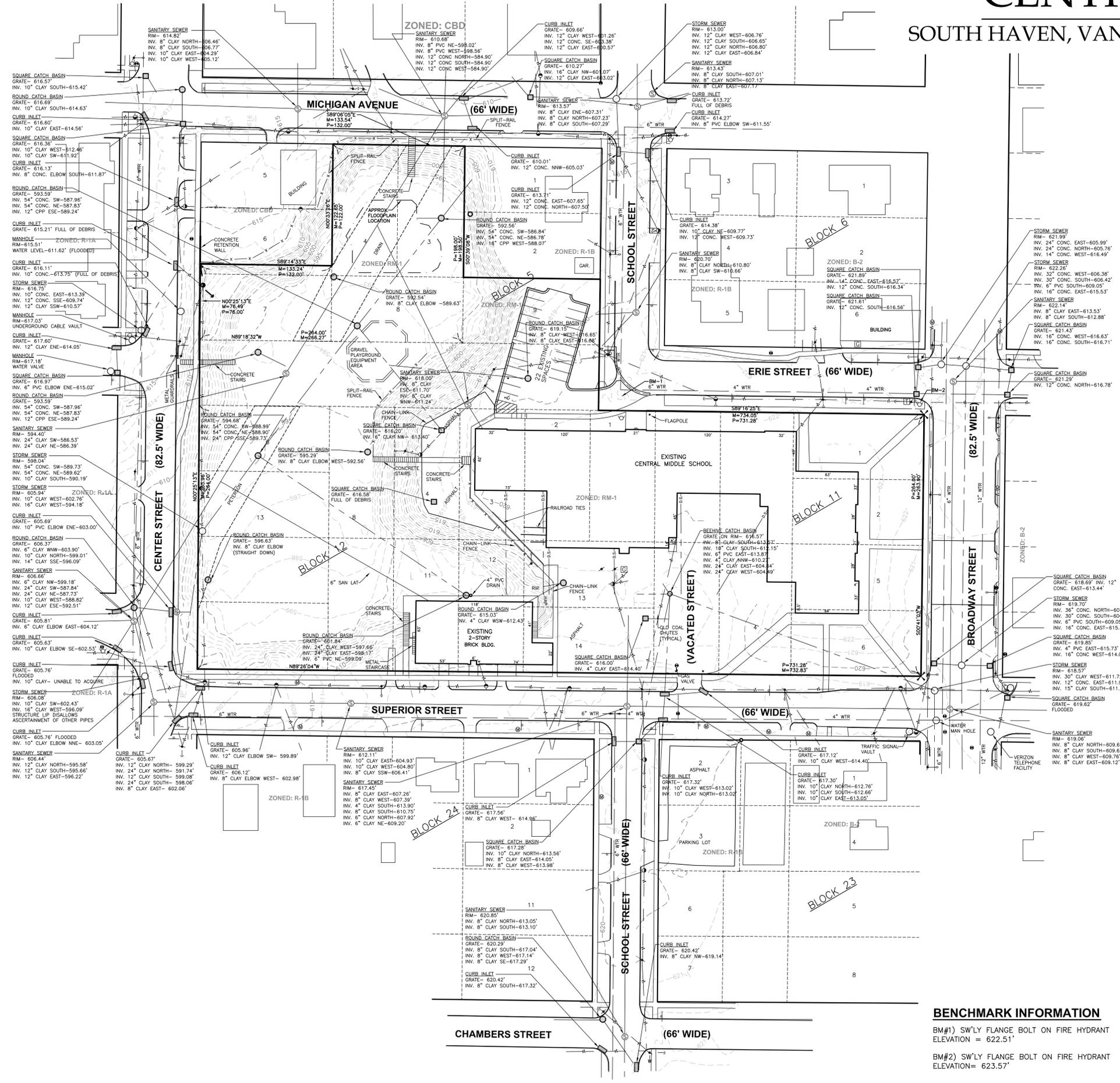
Respectfully submitted,
Linda Anderson
Zoning Administrator

CENTRAL LOFTS

SOUTH HAVEN, VAN BUREN COUNTY, MICHIGAN



6/10/2013



VICINITY MAP
NOT TO SCALE

SURVEYOR
MITCHELL & MORSE LAND SURVEYING
A DIVISION OF MITCHELL SURVEYS, INC.
404 BROADWAY
SOUTH HAVEN, MI 49090
PHONE (269) 637-1107
FAX (269) 637-1907

ENGINEER
LAND AND RESOURCE ENGINEERING
3800 W. RIVER DRIVE STE. A
COMSTOCK PARK, MI 49321
PH: 616.301.7888

- INDEX OF SHEETS**
- C1 - TOPOGRAPHIC & BOUNDARY SURVEY
 - C2 - SITE PLAN
 - C3 - GRADING PLAN
 - C4 - UTILITY PLAN
 - C5 - R.O.W. IMPROVEMENT PLAN
 - L1 - LANDSCAPE PLAN
 - E1 - PHOTOMETRIC PLAN

BASIS OF BEARINGS
BEARINGS ARE REFERENCED TO THE RECORDED PLAT OF DYCKMAN HALE & CO. ADDITION.
THE ELEVATION DATUM UTILIZED IS NAVD 88.

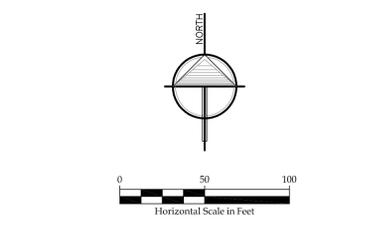
DESCRIPTION
FURNISHED DESCRIPTION:
LOCATED IN THE CITY OF SOUTH HAVEN, VAN BUREN COUNTY, MICHIGAN,
DESCRIBED AS FOLLOWS:
LOTS 3, 4, 7, 8 AND 9, AND THE SOUTH 10 FEET OF LOT 6 OF BLOCK 5, OF DYCKMAN, HALE & COMPANY'S ADDITION TO THE VILLAGE (NOW CITY) OF SOUTH HAVEN,
ALSO LOTS 1 THROUGH 6 OF BLOCK 11, DYCKMAN, HALE & COMPANY'S ADDITION TO THE VILLAGE (NOW CITY) OF SOUTH HAVEN,
ALSO LOTS 1 THROUGH 14 OF BLOCK 12, DYCKMAN, HALE & COMPANY'S ADDITION TO THE VILLAGE (NOW CITY) OF SOUTH HAVEN,
ACCORDING TO THE RECORDED PLAT THEREOF.

- SURVEY NOTES**
- 1.) THE RATIO OF CLOSURE OF UNADJUSTED FIELD OBSERVATIONS IS NOT GREATER THAN 1 PART IN 5,000.
 - 2.) THE INFORMATION SHOWN ON THIS DRAWING IS INTENDED FOR THE CLIENT ONLY. ANY REUSE WITHOUT WRITTEN VERIFICATION AND ADAPTATION BY THE LAND SURVEYOR FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE LAND SURVEYOR.
 - 3.) SCHOOL STREET IS SHOWN AS BEING VACATED ON SCHOOL PROPERTY SURVEYED ON THE MAP ABOVE. MITCHELL AND MORSE LAND SURVEYING WAS UNABLE TO FIND A TITLE POLICY SHOWING SUCH VACATION.
 - 4.) CONTRACTOR SHALL VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION & NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 - 5.) THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

BENCHMARK INFORMATION
BM#1) SW'LY FLANGE BOLT ON FIRE HYDRANT
ELEVATION = 622.51'
BM#2) SW'LY FLANGE BOLT ON FIRE HYDRANT
ELEVATION = 623.57'

LEGEND

▲	TRAVERSE POINT	○	FIRE HYDRANT
△	WELL	⊙	WATER METER PIT
⊙	MONITORING WELL	⊕	WATER VALVE
⊕	MONUMENT	⊕	GAS METER
⊕	FOUND IRON STAKE	⊕	WATER METER
⊕	SET IRON STAKE	⊕	TELEPHONE RISER
⊕	RR SIGN	⊕	ELECTRIC METER
⊕	GUY POLE	⊕	CURB INLET
⊕	GUY ANCHOR	⊕	SQUARE CATCH BASIN
⊕	UTILITY POLE	⊕	UTILITY MANHOLE
⊕	LIGHT POLE	⊕	STORM MANHOLE
⊕	POST	⊕	SANITARY MANHOLE
⊕	SOIL BORING	⊕	ELECTRIC MANHOLE
⊕	U.G. UTILITY MARKER	⊕	TELEPHONE MANHOLE
⊕	MAILBOX	⊕	SHRUB
⊕	SET "X" IN CONCRETE	⊕	TREE
		P	PINE TREE
		P	PLATTED
		M	MEASURED
			WATER UTILITY LINE
			TELEPHONE UTILITY LINE
			ELECTRIC UTILITY LINE
			GAS UTILITY LINE
			STEAM UTILITY LINE
			STORM UTILITY LINE
			SANITARY UTILITY LINE
			FIBER OPTIC UTILITY LINE
			OVERHEAD UTILITY LINE



3 WORKING DAYS
**BEFORE YOU DIG
CALL MISS DIG**
1-800-482-7171

**LAND & RESOURCE
ENGINEERING INC.**
Common Sense • Lasting Solutions
1800 West River Drive, Ste. A, Comstock Park, MI 49321 Ph:616.301.7888

CLIENT:
ERIE ST. LLC
7300 Q AVE. KALAMAZOO, MICHIGAN

PROJECT:
CENTRAL LOFTS
SOUTH HAVEN, MICHIGAN

PROJECT NUMBER: 13-047	DATE: MAY, 2013
DESIGNED BY: MPB	DATE: MAY, 2013
CHECKED BY: TJO	DATE: MAY, 2013
DRAFTED BY: NDJ	DATE: MAY, 2013

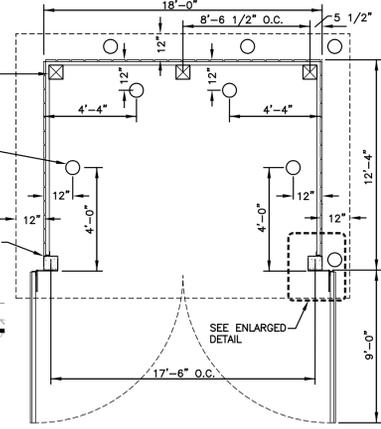
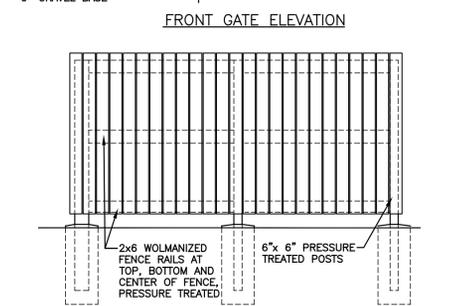
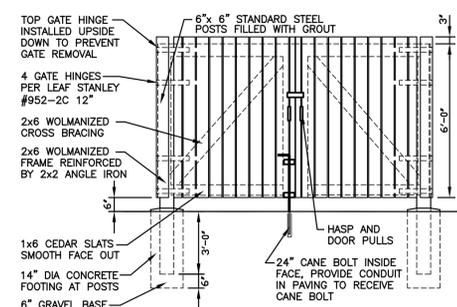
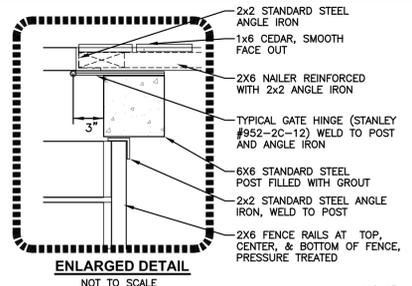
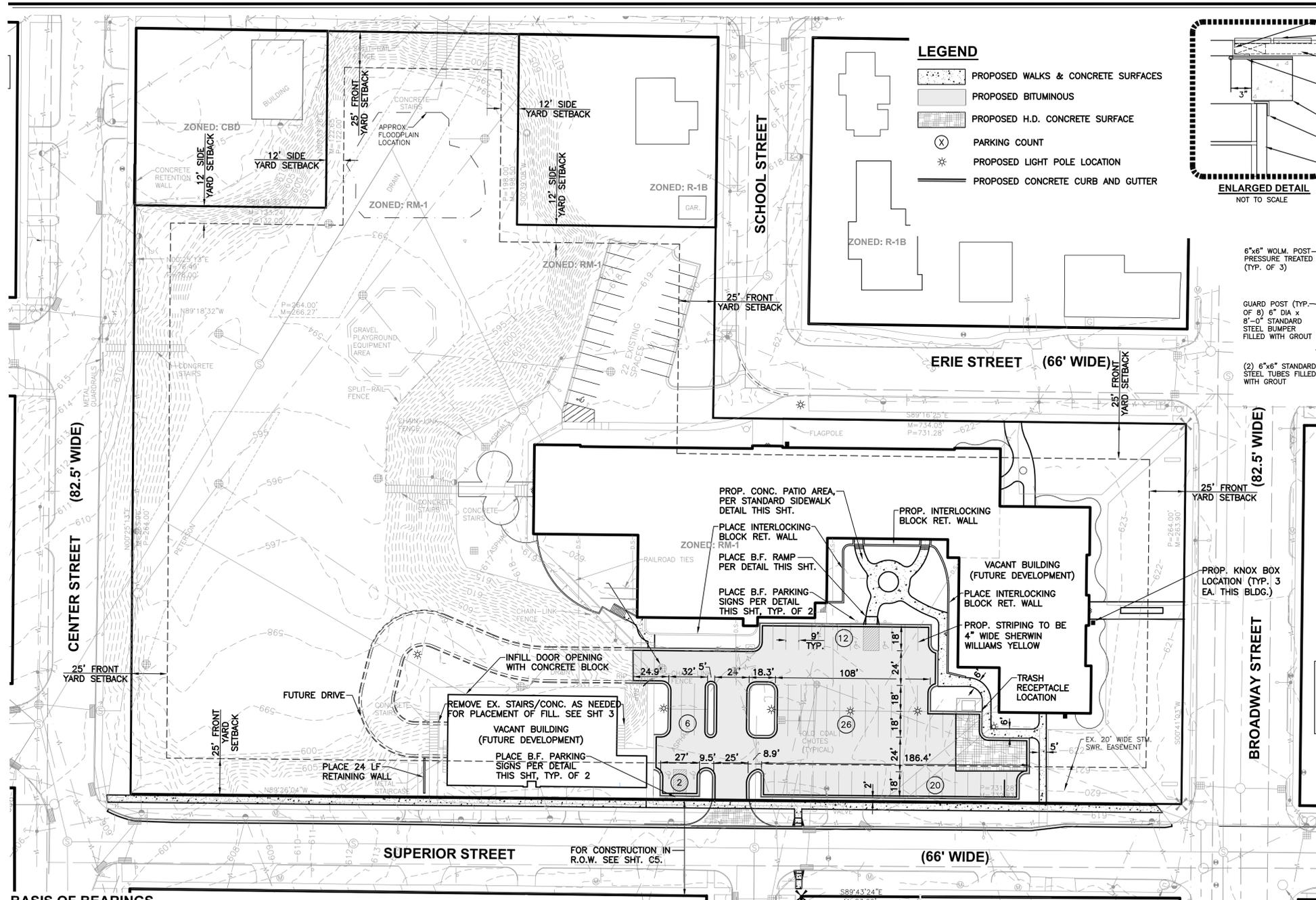
REVISIONS:

NO.	ISSUED FOR	DATE
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2	SITE PLAN REVIEW COMMENTS	06/10/13

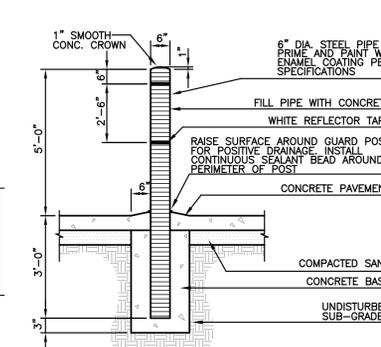
**TOPOGRAPHIC &
BOUNDARY SURVEY**

SHEET NUMBER

C1

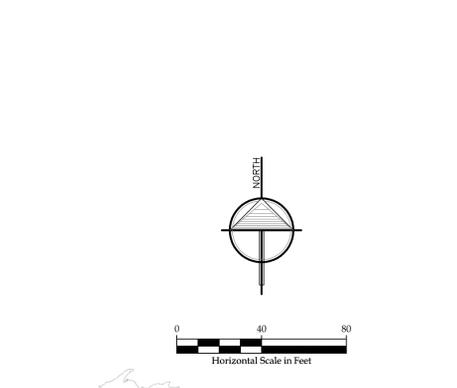


WOOD DUMPSTER ENCLOSURE
NOT TO SCALE



TYPICAL GUARD POST
NOT TO SCALE

WOOD DUMPSTER ELEVATIONS
NOT TO SCALE



3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171

BASIS OF BEARINGS

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LEGAL DESCRIPTION

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 ACCORDING TO THE RECORDED PLAT THEREOF.

NOTES

- DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE ON PLANS.
- RADI ARE 5 FEET UNLESS INDICATED OTHERWISE ON PLANS.
- ALL SIGNS TO CONFORM TO THE CITY OF SOUTH HAVEN ZONING ORDINANCE.

BENCHMARK INFORMATION

BM#1) SW'LY FLANGE BOLT ON FIRE HYDRANT ELEVATION = 622.51'
 BM#2) SW'LY FLANGE BOLT ON FIRE HYDRANT ELEVATION = 623.57'

BUILDING ADDRESS:

500 ERIE ST. & 525 SUPERIOR ST. SOUTH HAVEN MI, 49090

PARKING INFORMATION

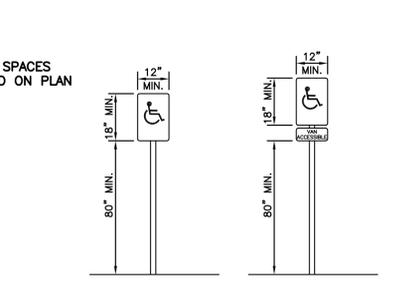
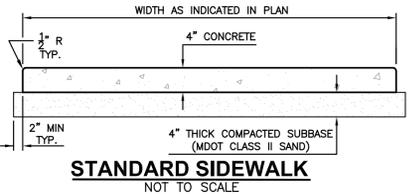
PARKING REQUIRED: 54 SPACES
 PARKING PROVIDED: 88 SPACES INCLUDING 5 B.F. SPACES AS DIMENSIONED ON PLAN

SITE INFORMATION:

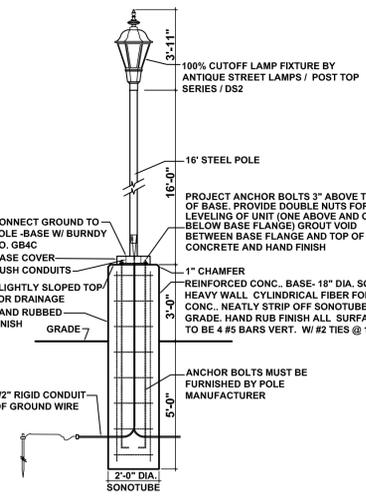
TOTAL LOT AREA: 266,952 SF (6.13 ACRES)
 EXISTING IMPERVIOUS AREA: 101,714 SF (38.01%)
 PROPOSED IMPERVIOUS AREA: 88,701 SF (33.23%)
 OPEN SPACE AREA: 178,251 SF (4.09 ACRES) (66.8%)

BUILDING SETBACKS:

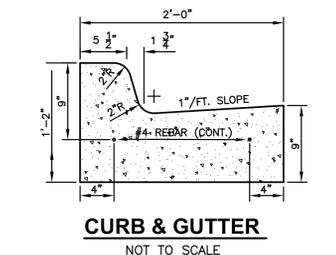
RM-1 ZONING
 FRONT YARD: 25 FT.
 SIDE YARD: 12 FT.
 REAR YARD: 25 FT.



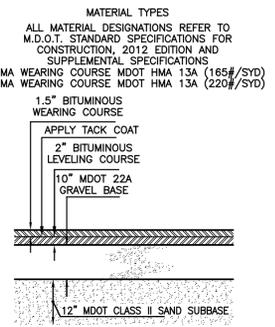
BARRIER FREE PARKING SIGNS
NOT TO SCALE
PER MICHIGAN BARRIER FREE DESIGN GRAPHICS MANUEL 1993



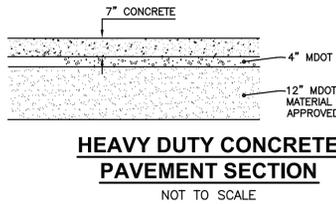
TYPICAL LIGHT POLE DETAIL
NOT TO SCALE



CURB & GUTTER
NOT TO SCALE



PAVEMENT SECTION
NOT TO SCALE



HEAVY DUTY CONCRETE PAVEMENT SECTION
NOT TO SCALE

CONTRACTION & EXPANSION JOINT NOTES:
 1. PLACE 1" FIBER JOINT FILLER AT 40' MAXIMUM INTERVALS
 2. PLACE 1" FIBER JOINT FILLER AT SPRING POINTS OF CURB RETURNS (& INTERSECTING STREETS)
 3. PLACE 1" FIBER JOINT FILLER IN ADJACENT CONTRACTION JOINTS EACH SIDE OF CATCH BASINS.
 4. PLACE CONTRACTION JOINTS AT 40' MAXIMUM INTERVALS (NO SAW JOINTS ALLOWED)

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

LAND & RESOURCE ENGINEERING INC.
 Common Sense • Lasting Solutions
 1800 West River Drive, Ste. A, Conneaut Park, MI 49721 Ph:616.810.7888

CLIENT: **ERIE ST. LLC**
 7300 Q AVE. KALAMAZOO, MICHIGAN

PROJECT: **CENTRAL LOFTS**
 SOUTH HAVEN, MICHIGAN

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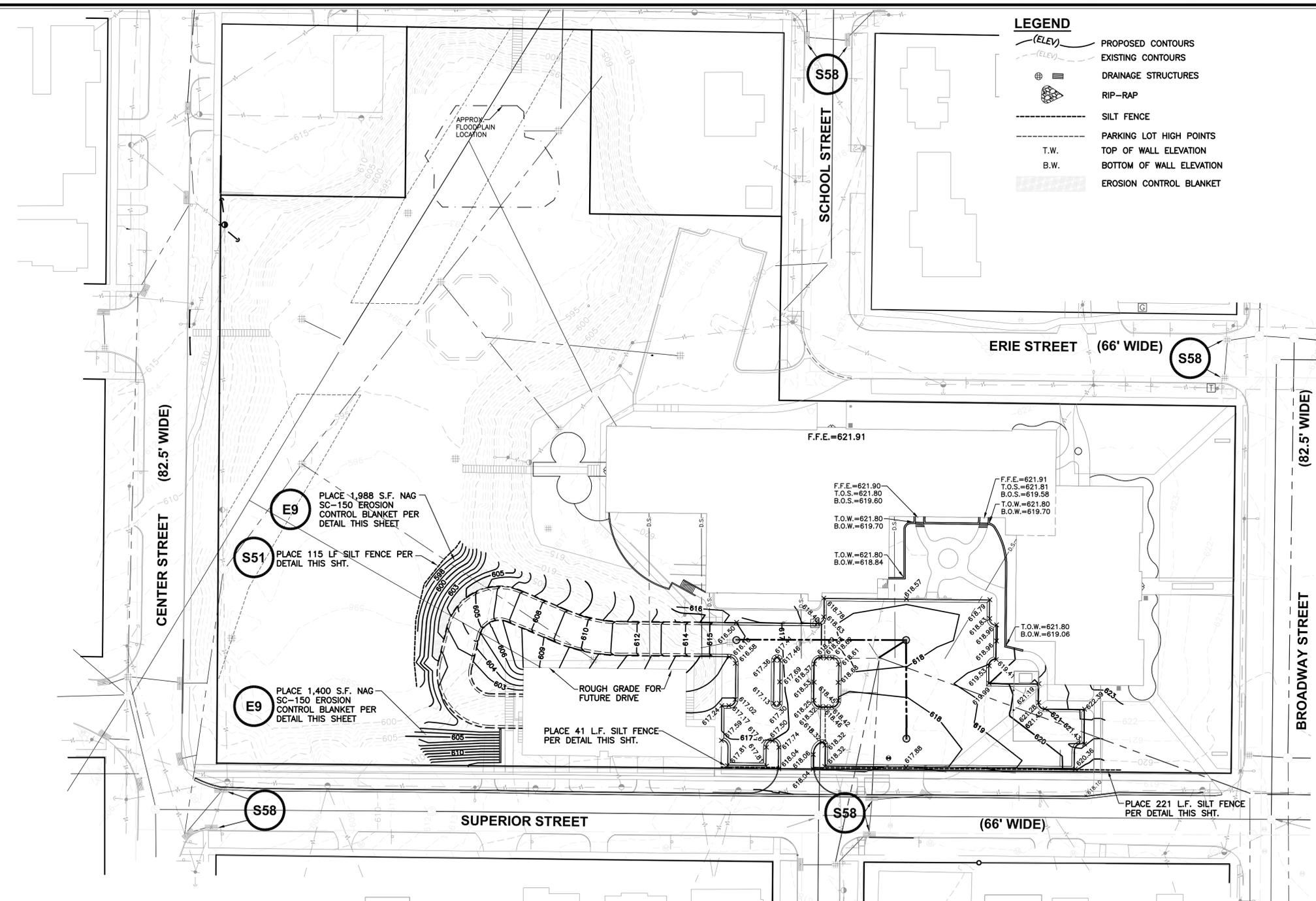
REVISIONS:

NO.	ISSUED FOR	DATE
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SITE PLAN

SHEET NUMBER





LEGEND

(ELEV)	PROPOSED CONTOURS
(ELEV)	EXISTING CONTOURS
⊕	DRAINAGE STRUCTURES
⊗	RIP-RAP
---	SILT FENCE
---	PARKING LOT HIGH POINTS
T.W.	TOP OF WALL ELEVATION
B.W.	BOTTOM OF WALL ELEVATION
▨	EROSION CONTROL BLANKET

EROSION & SEDIMENTATION CONTROL SCHEDULE

1. INSTALL SILT FENCE AS SHOWN. MAINTAIN SILT FENCE BY REMOVING SEDIMENT WHEN IT HAS REACHED 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE.
2. CLEAR & GRUB SITE AS NECESSARY AND REMOVE ALL RESULTING MATERIALS FROM THE SITE.
3. SWEEP STREETS REGULARLY TO REMOVE ALL TRACKED SEDIMENT & SPRAY IF DUST IS A PROBLEM.
4. PERMANENT CONTROL MEASURES MUST BE COMPLETED 15 CALENDAR DAYS AFTER THE FINAL EARTH CHANGE IS COMPLETED FOR EACH AREA DISTURBED. THIS INCLUDES BLANKETS, SEEDING, MULCHING & HYDROMULCHING.
5. FOR ALL AREAS TO BE SEEDED, THE MULCH MUST BE APPLIED IMMEDIATELY AFTER SEED APPLICATION.
6. CLEAN STORM SEWER, INLETS, PIPES AND DETENTION BASIN OF ALL CONSTRUCTION SEDIMENT IMMEDIATELY FOLLOWING PROJECT COMPLETION.
7. REMOVE TEMPORARY CONTROLS SUCH AS SILT FENCE, INLET PROTECTION AND NETTING ONCE VEGETATION IS ESTABLISHED AND THE SITE HAS BEEN STABILIZED.

PERMANENT SEEDING NOTE:

ALL PROPOSED LAWN AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL AND LAWN SEED MIX AS INDICATED ON PLANS AND AS FOLLOWS:

PROPORTION	CLASS "A" SEED TYPE
10%	CANNON KENTUCKY BLUEGRASS
20%	GOLDRUSH KENTUCKY BLUEGRASS
20%	RONDE KENTUCKY BLUEGRASS
20%	SR1500 CHEWINGS FESCUE
20%	SR5200 CREEPING RED FESCUE
10%	SR4400 PERENNIAL RYEGRASS
10%	SR4500 PERENNIAL RYEGRASS

SEEDING RATE SHALL BE 4 TO 6 lbs. PER 1000 SQ. FEET.



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 Common Sense • Lasting Solutions
 1800 West River Drive, Ste. A, Comstock Park, MI 49321 P:616.501.7888

CLIENT: **ERIE ST. LLC**
 7300 Q AVE. KALAMAZOO, MICHIGAN

PROJECT: **CENTRAL LOFTS**
 SOUTH HAVEN, MICHIGAN

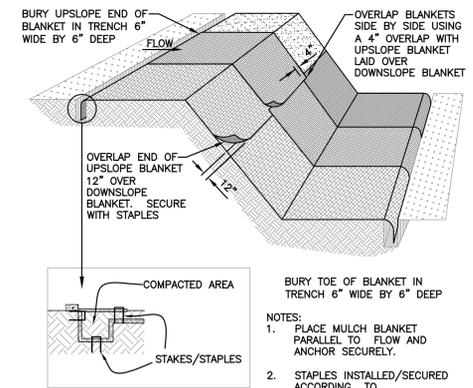
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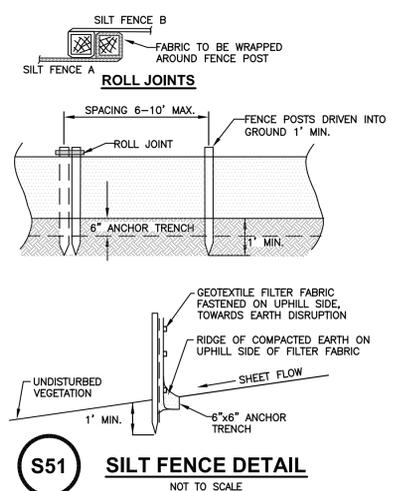
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**MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET
 S-E-S-C KEYING SYSTEM**

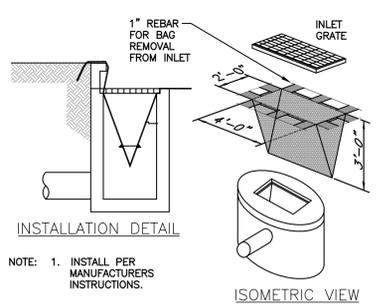
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
EROSION CONTROLS			
E9	MULCH BLANKETS		On exposed slopes, newly seeded areas, new ditch bottoms, or areas subject to erosion.
EROSION / SEDIMENT CONTROLS			
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.



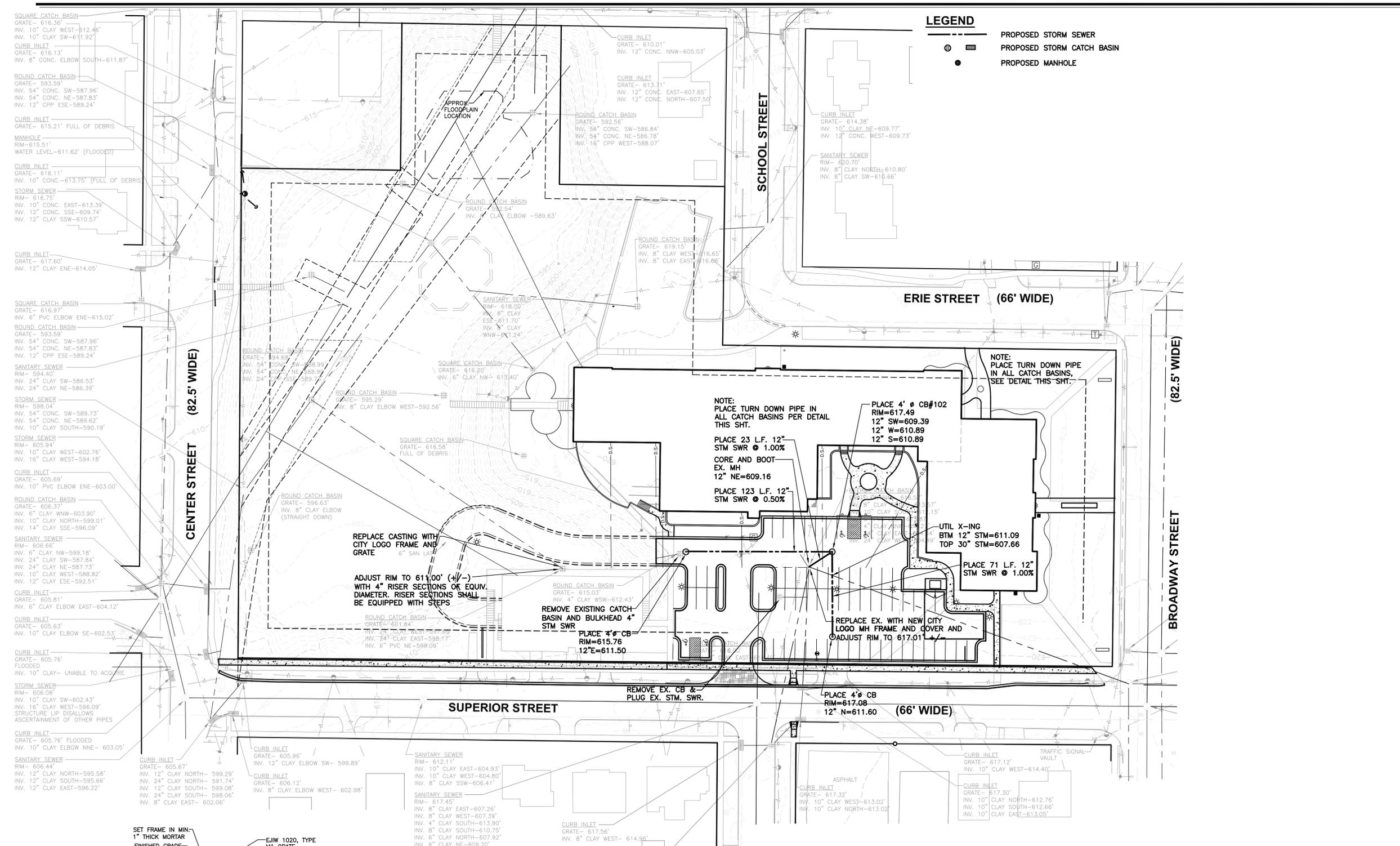
E9 MULCH BLANKETS
 NOT TO SCALE



S51 SILT FENCE DETAIL
 NOT TO SCALE



S58 INLET PROTECTION - FABRIC DROP
 NOT TO SCALE



LEGEND

- PROPOSED STORM SEWER
- ⊕ PROPOSED STORM CATCH BASIN
- PROPOSED MANHOLE

- NOTES**
- ALL RUNOFF FROM THE DEVELOPED PORTIONS OF THE SITE SHALL BE DIRECTED TO THE STORM SEWER SYSTEM.
 - CONTRACTOR TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - ALL SANITARY SEWER & WATERMAIN SHALL BE INSTALLED PER THE CITY OF SOUTH HAVEN STANDARD SPECIFICATIONS.
 - CONTRACTOR SHALL COORDINATE SANITARY AND WATER SERVICE CONNECTIONS WITH THE CITY OF SOUTH HAVEN.
 - DOMESTIC AND FIRE PROTECTION SERVICES SHALL BE CONNECTED FROM WITHIN FOR PHASE II PORTION OF 500 ERIE STREET BUILDING.
 - CONTRACTOR SHALL CONNECT EXISTING DOWNSPOUTS TO PROPOSED STORM SEWER SYSTEM WHEN CONFLICTS IN ELEVATION OCCURS.

0 40 80
Horizontal Scale in Feet

3 WORKING DAYS
BEFORE YOU DIG
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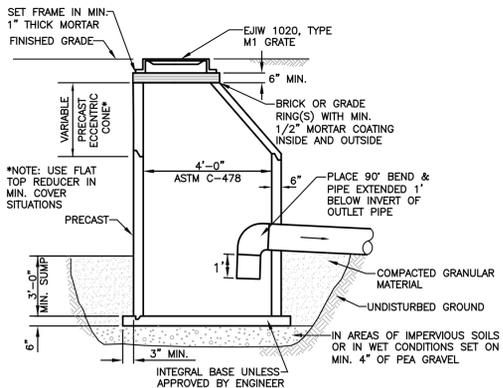
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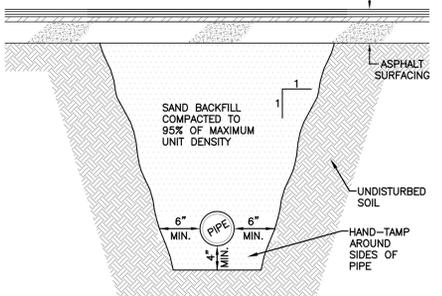
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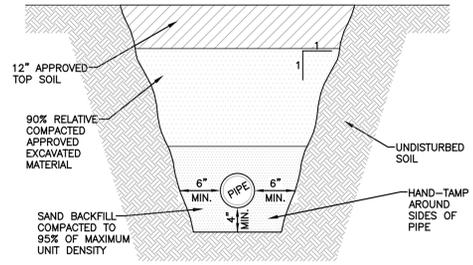
UTILITY PLAN



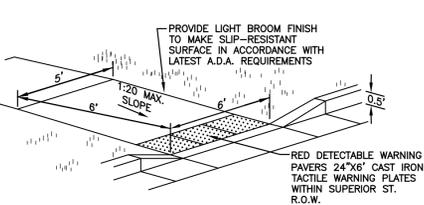
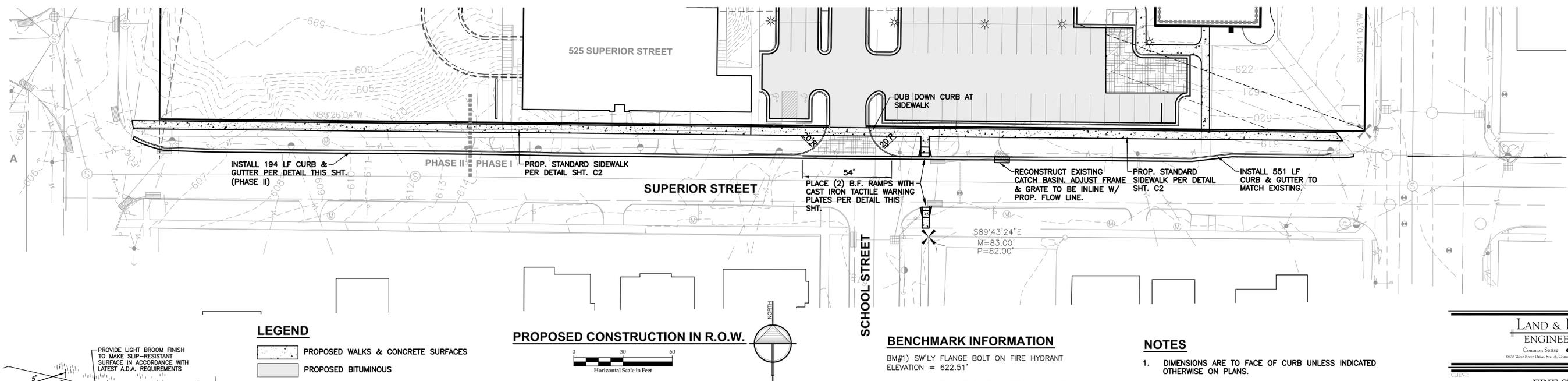
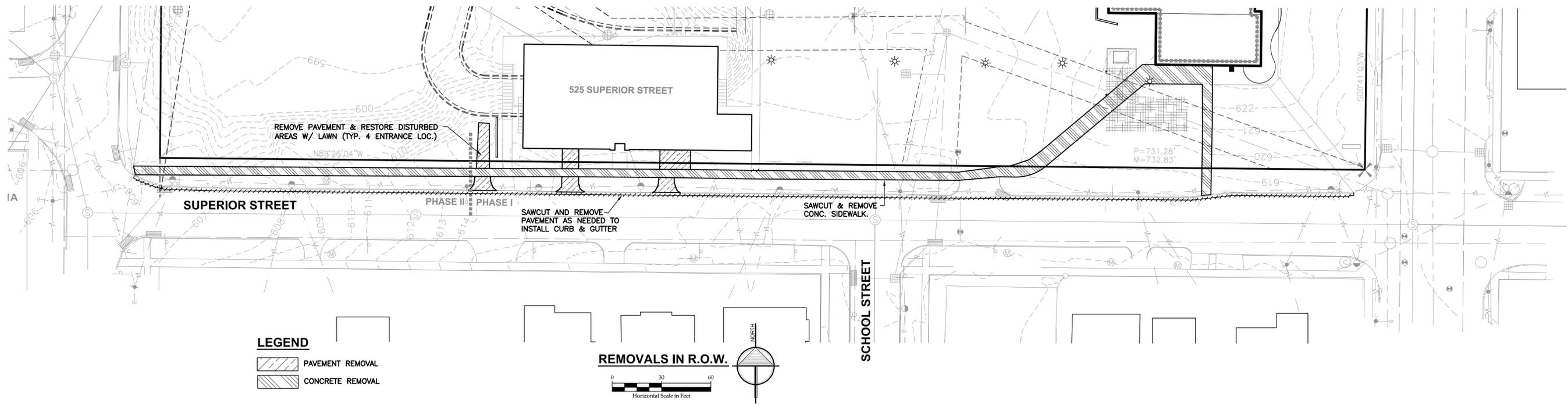
STANDARD CATCH BASIN
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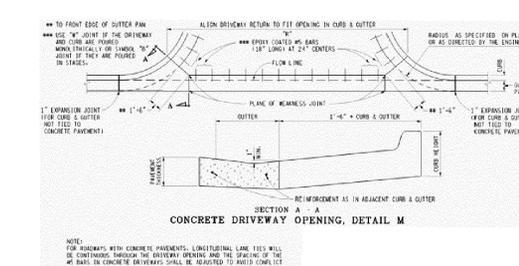
TYPICAL TRENCH DETAIL
UNDER ASPHALT SURFACES ONLY
NOT TO SCALE



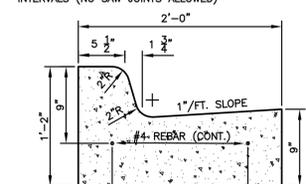
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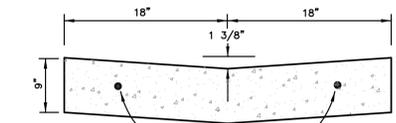
PLAN VIEW
BARRIER FREE RAMP
NOT TO SCALE



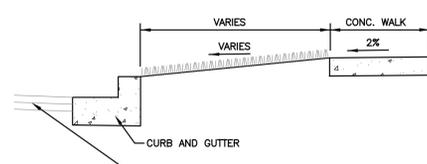
M.D.O.T. TYPE M DRIVE OPENING
NOT TO SCALE



M.D.O.T. F-4 CURB & GUTTER
NOT TO SCALE



GUTTER PAN
NOT TO SCALE



R.O.W. IMPROVEMENTS CROSS SECTION
NOT TO SCALE

BENCHMARK INFORMATION
BM#1) SW'LY FLANGE BOLT ON FIRE HYDRANT ELEVATION = 622.51'
BM#2) SW'LY FLANGE BOLT ON FIRE HYDRANT ELEVATION = 623.57'

BASIS OF BEARINGS
BEARINGS ARE REFERENCED TO THE RECORDED PLAT OF DYCKMAN HALE & CO. ADDITION.
THE ELEVATION DATUM UTILIZED IS NAVD 88.

CONTRACTION & EXPANSION JOINT NOTES:
1. PLACE 1" FIBER JOINT FILLER AT 400' MAXIMUM INTERVALS
2. PLACE 1" FIBER JOINT FILLER AT SPRING POINTS OF CURB RETURNS (& INTERSECTING STREETS)
3. PLACE 1" FIBER JOINT FILLER IN ADJACENT CONTRACTION JOINTS EACH SIDE OF CATCH BASINS.
4. PLACE CONTRACTION JOINTS AT 40' MAXIMUM INTERVALS (NO SAW JOINTS ALLOWED)

- NOTES**
- DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE ON PLANS.
 - RADI ARE 5 FEET UNLESS INDICATED OTHERWISE ON PLANS.
 - ALL WASTE REMOVAL WILL BE CURBSIDE OR VIA HAUL-AWAY FROM INSIDE COMPACTOR.
 - ALL SIGNS TO CONFORM TO THE CITY OF SOUTH HAVEN ZONING ORDINANCE.
 - PROP. CURB & GUTTER WITHIN SUPERIOR ST. R.O.W. SHALL BE M.D.O.T. F4 CURB & GUTTER PER DETAIL THIS SHT. PROP. CURB & GUTTER OUTSIDE OF R.O.W. SHALL BE INSTALLED PER "STANDARD CURB & GUTTER" DETAIL SHT. C101

LAND & RESOURCE ENGINEERING INC.
Common Sense • Lasting Solutions
1800 West River Drive, Ste. A, Comstock Park, MI 49317 Ph:616.301.7888

CLIENT:
ERIE ST. LLC
7300 Q AVE. KALAMAZOO, MICHIGAN

PROJECT:
CENTRAL LOFTS
SOUTH HAVEN, MICHIGAN

PROJECT NUMBER: 13-047
DESIGNED BY: MPB DATE: MAY, 2013
CHECKED BY: TJO DATE: MAY, 2013
DRAFTED BY: NDJ DATE: MAY, 2013

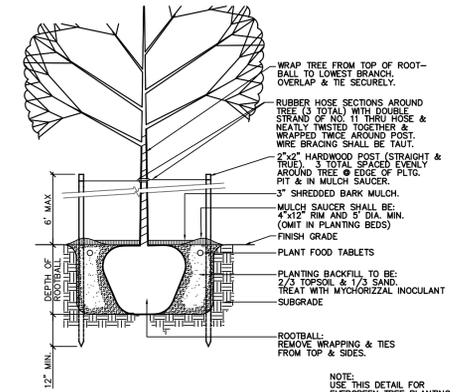
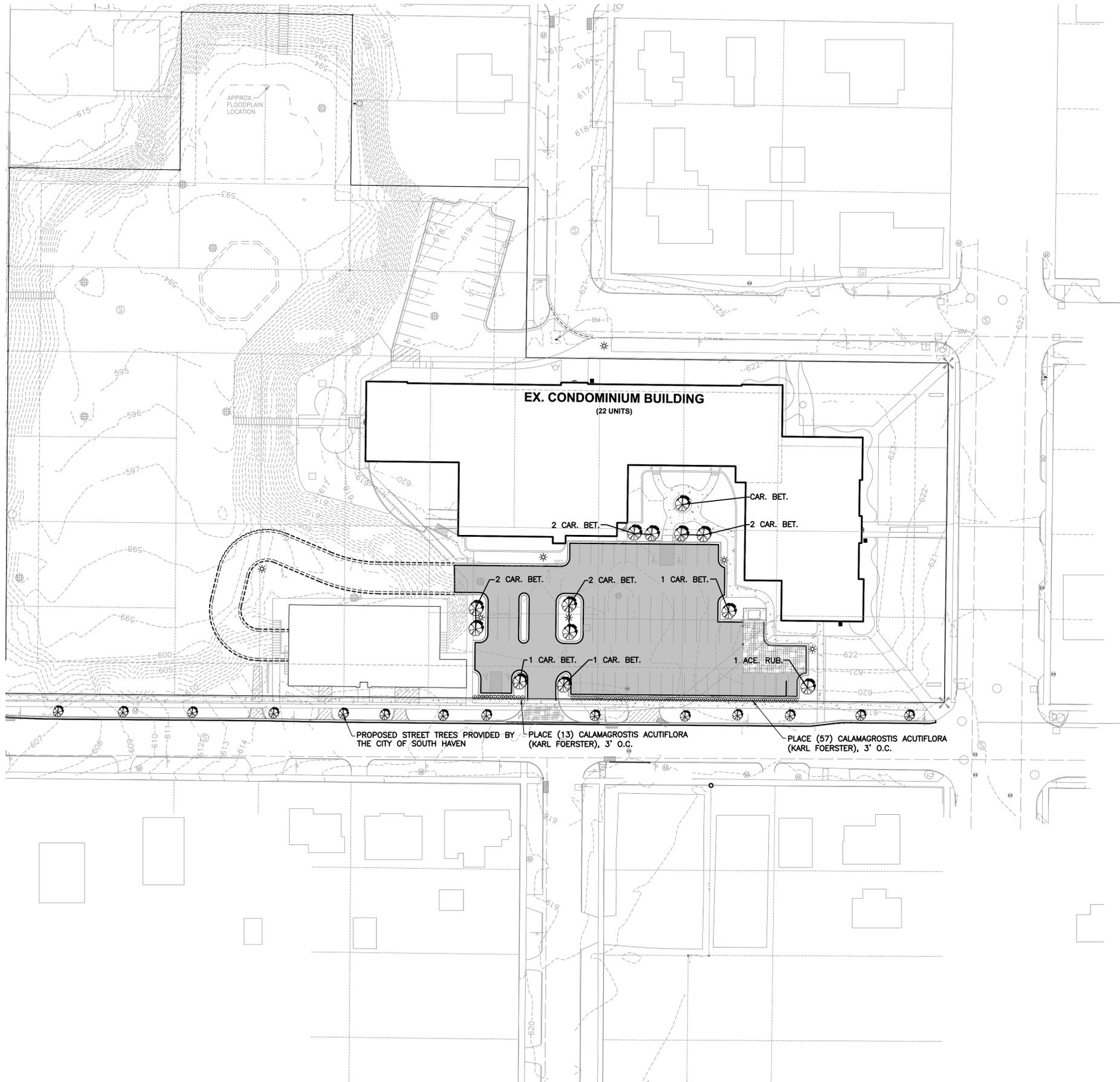
REVISIONS:

NO.	ISSUED FOR	DATE
1	SITE PLAN REVIEW SUBMITTAL	05/31/13
2	SITE PLAN REVIEW COMMENTS	06/10/13

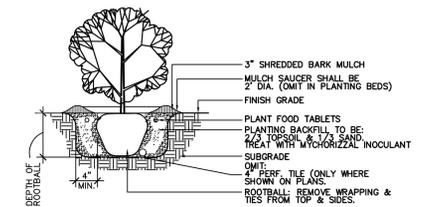
R.O.W. IMPROVEMENT PLAN

C5

SHEET NUMBER



1 TREE PLANTING DETAIL
NOT TO SCALE



2 SHRUB PLANTING DETAIL
NOT TO SCALE

LANDSCAPING REQUIREMENTS

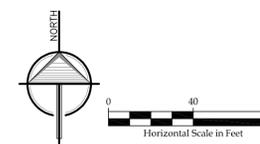
1 TREE / 8 PARKING SPACES
NUMBER OF SPACES = 66 SPACES
NUMBER OF TREES PROVIDED = 12 TREES

MINIMUM LANDSCAPED SPACE WITHIN A DESIGNATED PARKING AREA IS 50 SQUARE FEET
LANDSCAPE SPACE PROVIDED = 588 SQ.FT.

MINIMUM DISTANCE OF 3' SHALL BE ESTABLISHED BETWEEN PROPOSED TREE OR SHRUB PLANTINGS AND THE BACKSIDE OF THE CURB OR EDGE OF THE PAVEMENT

ALL OFF-STREET PARKING MUST BE SCREENED BY A 5' HIGH FENCE OR LANDSCAPING AREA

IN ADDITION TO ANY LANDSCAPE GREENBELT AND/OR PARKING LOT LANDSCAPING REQUIRED, 10% OF THE SITE AREA, EXCLUDING EXISTING THOROUGHFARE RIGHT-OF-WAY, SHALL BE LANDSCAPED



LEGEND

SYMBOL	#	COMMON NAME	SCIENTIFIC NAME
	12	EUROPEAN HORNBEAM	<i>Carpinus betulus 'Fastigiata'</i>
	70	FEATHER REED GRASS	<i>Calamagrostis acutiflora 'Karl Foerster'</i>



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

LAND & RESOURCE ENGINEERING INC.

Common Sense • Lasting Solutions
3800 West River Drive, Ste. A, Comstock Park, MI 49321 Ph:616.831.2888

CLIENT: **ERIE ST. LLC**
7300 Q AVE. KALAMAZOO, MICHIGAN

PROJECT: **CENTRAL LOFTS**
SOUTH HAVEN, MICHIGAN

PROJECT NUMBER: 13-047
DESIGNED BY: MPB DATE: MAY, 2013
CHECKED BY: TJO DATE: MAY, 2013
DRAFTED BY: NDJ DATE: MAY, 2013

REVISIONS:

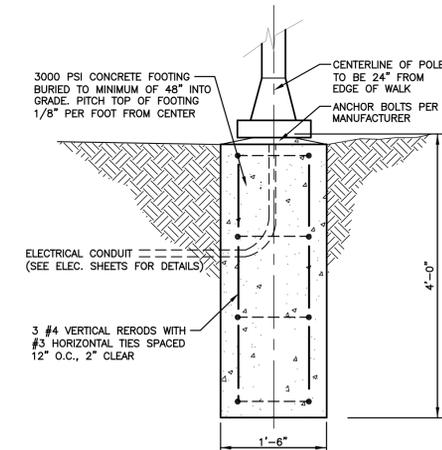
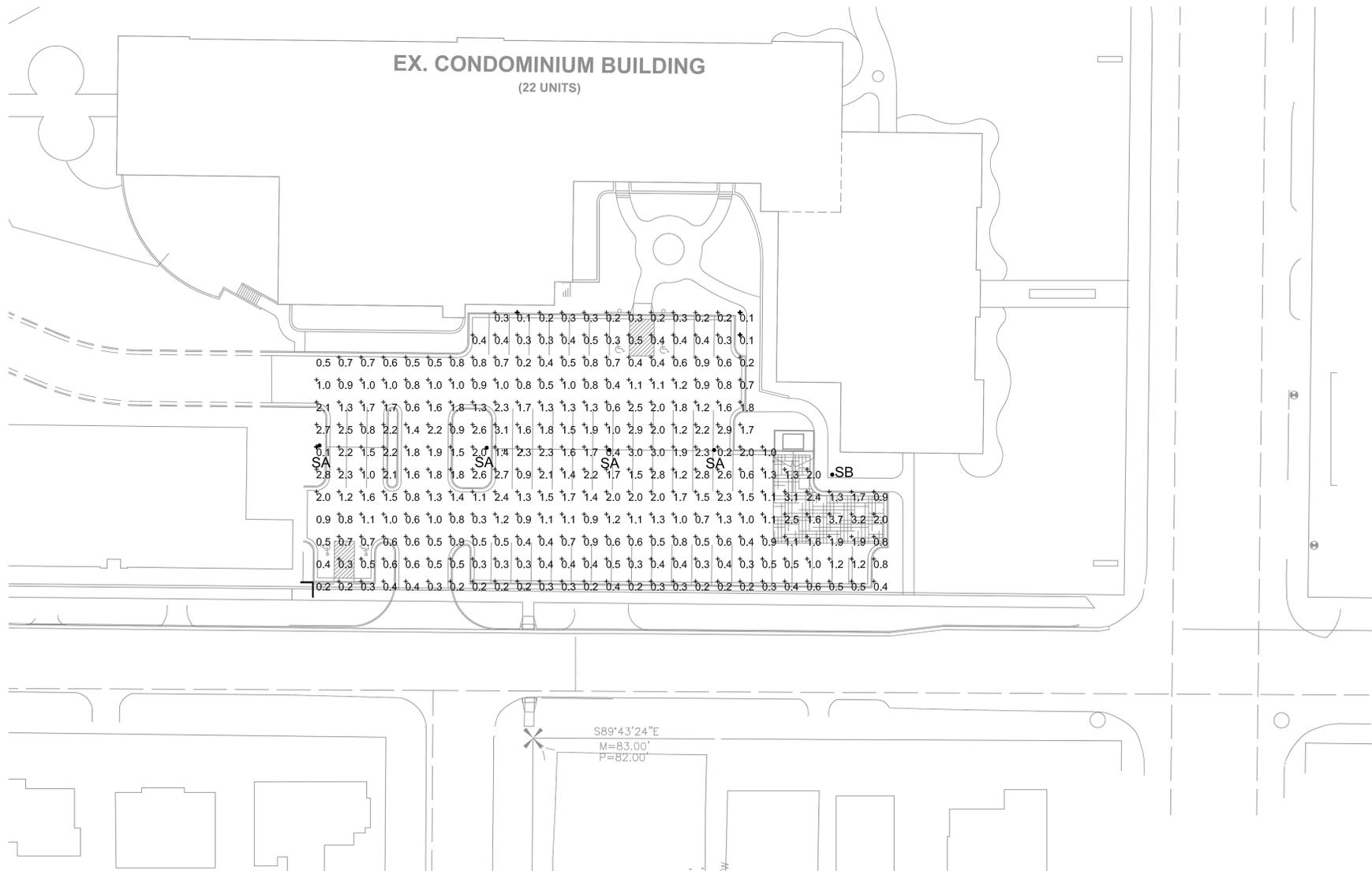
NO.	ISSUED FOR	DATE
1	SITE PLAN REVIEW SUBMITTAL	05/31/13
2	SITE PLAN REVIEW COMMENTS	06/10/13

LANDSCAPE PLAN

SHEET NUMBER

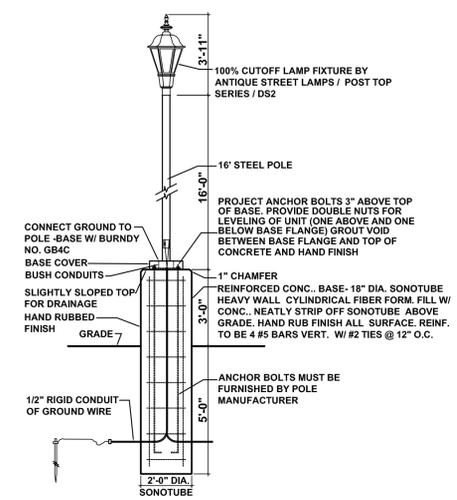
L1

Luminaire Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	SA	4	ANTIQUE STREET LAMPS	DS2 175M MED SR3	6-SIDED LANTERN WITH CLEAR PANELS AND TYPE 3 REFLECTOR	ONE 175-WATT CLEAR E-17 METAL HALIDE HORIZONTAL POSITION	1	ASL3324.ies	12800	1	213
	SB	1	ANTIQUE STREET LAMPS	DS2 175M MED SR4SC	6-SIDED LANTERN WITH CLEAR PANELS AND TYPE 4 REFLECTOR	ONE 175-WATT CLEAR E-17 METAL HALIDE HORIZONTAL POSITION	1	ASL3327.ies	12800	1	213



NOTES:
 CONTRACTOR TO PROVIDE AND INSTALL WIRING, FUSING, AND LAMPS FOR FIXTURES
 ALL INSTALLATION TO CONFORM TO ALL APPLICABLE CODES AND REGULATIONS

TYPICAL - LIGHT INSTALLATION DETAIL
 NOT TO SCALE



TYPICAL LIGHT POLE DETAIL
 NOT TO SCALE

WEST MICHIGAN LIGHTING, INC.

Horizontal Scale in Feet: 0, 30, 60

3 WORKING DAYS
BEFORE YOU DIG
 CALL MISS DIG
 1-800-482-7171

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

LAND & RESOURCE ENGINEERING INC.
 Common Sense • Lasting Solutions
 3800 West River Drive, Ste. A, Comstock Park, MI 49321 Ph:616.301.2888

CLIENT:
ERIE ST. LLC
 7300 Q AVE. KALAMAZOO, MICHIGAN

PROJECT:
CENTRAL LOFTS
 SOUTH HAVEN, MICHIGAN

PROJECT NUMBER: 13-047
 DESIGNED BY: MPB DATE: MAY, 2013
 CHECKED BY: TJO DATE: MAY, 2013
 DRAFTED BY: NDJ DATE: MAY, 2013

REVISIONS:		
NO.	ISSUED FOR	DATE
1	SITE PLAN REVIEW SUBMITTAL	05/31/13
2	SITE PLAN REVIEW COMMENTS	06/10/13

PHOTOMETRIC LIGHTING PLAN

SHEET NUMBER **E1**

SITE PLAN APPLICATION
CITY OF SOUTH HAVEN
BUILDING DEPARTMENT
539 PHOENIX STREET, SOUTH HAVEN, MICHIGAN 49090
FOR INFORMATION CALL 269-637-0760

Project Address: 500 ERIE STREET Tax ID 80-53-

Applicant: SAME AS OWNER Property Owner: ERIE STREET, LLC

Appl. Address: _____ Owner Address: 7300 Q AVE. KALAMAZOO, MI 49009

Applicant Phone: _____ Owner Phone: 269-217-0987

Applicant Email: _____ Owner Email: LJHOLLENBECK1@GMAIL.COM

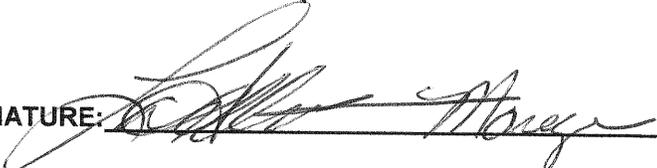
Current Use of Property: CONDOMINIUMS Zoning District of Property RM-1

Project Description: COMPLETE BUILD-OUT OF CENTRAL LOFTS CONDOMINIUMS, ADD
4 ADDITIONAL UNITS, SITE IMPROVEMENTS + RESTORATION. SEE TRANSMITTAL
LETTER FOR ADDITIONAL INFORMATION.

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

SECTION NUMBER WHICH PERMITS THIS USE: 500

COMMENTS:

OWNER'S SIGNATURE:  DATE: _____

APPLICANT'S SIGNATURE: _____ DATE: _____

DATE SUBMITTED: _____ DATE ACCEPTED: _____ BY: 

FEE: \$300 DATE OF PAYMENT: June 3, 2013

FORM CONTINUES ON OTHER SIDE, PLEASE COMPLETE BACK OF SHEET

SETBACKS (IN FEET):

FRONT YARD: 25

SIDE YARD: 12

REAR YARD: 25

SIDE YARD: 12

LOT AREA (IN SQUARE FEET) 266,952 S.F.

LOT WIDTH (AT FRONT SETBACK) 685 FEET

AREA COVERAGE (BY ALL STRUCTURES) 46,986 SF

HEIGHT (AVERAGE OF PEAK AND EAVE) 46' FEET

OFF-STREET PARKING, SECTION 1800

PARKING USE GROUP: RESIDENTIAL

SECTION NUMBER: 1800.12. A

PARKING REQUIREMENT: TWO (2) FOR EACH DWELLING UNIT : RESIDENTIAL, MULTI-FAMILY

PARKING REQUIREMENT

CALCULATION: 2 SPACES PER UNIT: 27 UNITS = 54 SPACES

REQUIRED PARKING SPACES 54 PROVIDED SPACES 86

DIMENSION OF INDIVIDUAL PARKING SPACES 9'x18'

COMMENTS:

Fee Due With Application: \$300.00

LAND & RESOURCE ENGINEERING INC.

Common Sense • Lasting Solutions

June 10, 2013

Ms. Linda Anderson
Planner/Zoning Administrator
City of South Haven
South Haven City Hall
539 Phoenix Street
South Haven MI 49090

**Re: Site Plan Review, Central Lofts Condominiums
500 Erie Street, South Haven, MI**

Dear Ms. Anderson:

We are writing in response to Site Plan Review Comments received from City staff. Comments were forwarded via e-mail on June 3, 2013 from Linda Anderson, City Planner and again on June 5, 2013 from Mr. Larry Halberstadt, P.E., City Engineer. Below is our response to each review comment. Copies of the Site Plan Review Comments have been included for reference.

Planning and Zoning Review:

1. A photometric plan has been included with this submittal.
2. A detail for the trash receptacle is included.
3. A plant list giving the common plant names has been included with this submittal.
4. The proposed driveway to the lower level of 525 Superior has been shown as a future drive. This will be constructed in a future phase and will be subject to site plan review at that time.

Engineering Department Review:

Paragraph 1: The drawings have been revised to show 1 barrier free parking space in the existing parking lot off Erie Street due to the restriping.

Paragraph 2: The building at 525 Superior Street is not being developed under Phase 1 of the project so the parking spaces within the building are not included.

3800 West River Drive, Suite A, Comstock Park, MI 49321
Phone: 616.301.7888

Ms. Linda Anderson

June 10, 2013

Page 2

Paragraph 3: The pavement cross section detail has been revised to reference the MDOT 2012 Standard Specifications.

Paragraph 4: The dumpster enclosure has been moved to provide additional maneuvering area. Concrete pavement is shown through the maneuvering area as shown on sheet C2.

Paragraph 5: A letter of final approval from the Drain Commissioner will be provided to the City prior to the start of construction.

Paragraph 6: A Letter of Map Amendment Request has been submitted to FEMA to eliminate the buildings from the floodplain. Additionally, the Van Buren Drain Office had a studied completed for the Peterson Drain that shows that the 100-year floodplain elevation is 596.25 – approximately 1' lower than the proposed toe of slope. We will coordinate with the MDEQ on whether or not a application should be made.

Paragraph 7: Notes have been added to sheet C4 to install City Logo manhole frames and covers on the existing public storm sewer system crossing beneath the proposed parking lot.

A Note has been added to sheet C4 to remove the existing catch basin near the proposed westerly catch basin and bulkhead the existing 4" clay storm sewer.

A low point is provided along the westerly edge of the pavement along with slope stabilization per sheets C3 and C4.

Paragraph 8: The existing retaining walls and stairways previously removed have been removed from the ite plan

The man door on the north side of the building will be filled in with concrete block so that fill can be placed against the north wall. A note indicating this has been added to the plans.

The note to adjust the existing catch basin rim (sheet C4) has been revised to include installation of a City Logo manhole frame and cover with the minimum diameter riser and steps.

Sewer Department Review:

Not applicable as the 525 Superior Street Building and associated drive has been removed from the site plan request.

Ms. Linda Anderson

June 10, 2013

Page 3

Water Department Review:

Not applicable as the 525 Superior Street Building and associated drive has been removed from the site plan request.

Street Department Review:

Paragraph 1: Phase I of the Superior Street Right-of-Way improvements has been moved west to include the removal and closure of all four (4) existing driveways. See sheet C5.

The plans have been revised to show the sidewalk continuing across the new driveway and matching the pavement thickness. The curb and gutter terminates on either side of the sidewalk with standard dub down and the barrier free ramps at the driveway have been removed.

Paragraph 2: Rather than moving the entrance drive we have added two new barrier free ramps on the east side of School Street that line up on the North and South sides of Superior Street (per discussion with Larry Halberstadt, PE on June 7, 2013). See sheet C5.

Paragraph 3: The entrance drive has been revised to be 25' wide and the entering radius 20' on sheets C2 & C5 (per discussion with Larry Halberstadt, PE on June 7, 2013). A road right-of-way permit will be obtained prior to commencing any work in the Superior Street right-of-way.

Please accept this package and enclosed materials with our request to review the proposed Central Lofts residential development. We appreciate the time you have invested with us on this project and look forward to working with you through completion.

Sincerely,

Land and Resource Engineering, Inc.



Pete Buurstra, PE
Project Manager

Pete Buurstra

From: Linda Anderson [landerson@south-haven.com]
Sent: Monday, June 03, 2013 3:24 PM
To: Pete Buurstra
Subject: Site plan questions

I have a couple comments regarding the Central Lofts site plan.

1. We will need a photometric detail for the exterior lighting as well as a photograph of the fixtures proposed. If the bulb extends below the upper cap, the fixtures will likely not be approved.
2. The trash receptacle needs to be screened. Screening detail must be shown.
3. A plant list needs to be provided that gives common plant names as well as abbreviated scientific names (eg., car. bet.)
4. The proposed driveway appears to dead end at a vacant building that is not part of this submittal (noted as vacant building w/future development). If the building is to be used in any way, it needs to be part of this submittal. That is, if you plan on using the building for parking, we need details of the parking area proposed. If you are not including the building in this submittal, do not extend the driveway to the building.

■ Linda S. Anderson//City Planner//Zoning Administrator
City of South Haven // Office (269) 637-0760
Building Services Department, 539 Phoenix Street, South Haven, MI 49090 // www.landerson@south-haven.com

The City of South Haven Cares. Print only when necessary.

From: Pete Buurstra [<mailto:buurstra@landandresource.com>]
Sent: Monday, June 03, 2013 7:51 AM
To: Linda Anderson
Subject: Central Lofts

Good morning Linda,

Attached is a pdf copy of the Central Lofts Site Plan submittal. A hard copy went out in Friday's mail and should reach you today. Please let me know if you need anything else.

Thank you,

Pete Buurstra, PE

Project Manager

Land and Resource Engineering, Inc.

3800 West River Drive, Ste. A, Comstock Park, MI 49321
Office: 616-301-7888 / Cell: 616-443-9593



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City of South Haven

Dept. of Public Works

DPW Building • 1199 8th. Ave. • South Haven, Michigan 49090
Telephone (269) 637-0737 • Fax (269) 637-4778

MEMORANDUM

To: Linda Anderson, Zoning Administrator

From: Larry Halberstadt, PE, City Engineer

Date: June 5, 2013

RE: Final Site Plan Review
Central Lofts Phase II
500 Erie Street

Engineering Department Review:

REVISE AND RESUBMIT

The parking lot layout appears to meet the requirements of Section 1801 of the Zoning Ordinance. The previous developer obtained a variance permitting the reduction of length of parking spaces to 18 feet. The plan shows a total of 3 existing and 4 proposed barrier free parking spaces. The existing parking lot off Erie Street has been restriped and only 1 barrier free space is available in the existing lot. There are 4 barrier free parking spaces proposed in the new parking lot; 3 are required by the Americans with Disabilities Act. The dimensions of the proposed barrier free spaces appear to meet the requirements of the Americans with Disabilities Act.

The previous developer planned to construct enclosed parking on the lower level of the building at 525 Superior Street. It appears that this is still the intention of the new developer. However, the number of parking spaces that will be provided is not shown. It is estimated that approximately 24 9 foot wide by 18 foot long spaces could be provided. This number will likely be reduced if the need arises to place mechanical equipment on the lower level.

The proposed pavement cross sections meet the requirement of Section 1801.6 of the Zoning Ordinance and are acceptable to the Engineering Department. The plan note should be changed to reference the Michigan Department of Transportation **2012** Standard Specifications for Construction.

The site plan illustrates placement of a dumpster enclosure within the new parking lot. It is recommended that the concrete pavement section be utilized for the dumpster pad and garbage truck maneuvering area. The location of the dumpster pad is such that it may be difficult or impossible for the garbage collection vehicle to access the dumpster. It is recommended that an alternate location be proposed that permits adequate vehicle access.

The site is located within the drainage district of the Peterson County Drain. The County Drain Commissioner has reviewed the project and indicated that storm water detention is not required. There is a large open space west of the existing buildings that is commonly known as Baer

Park. This is a natural low area through which the Peterson County Drain passes. There is sufficient storm water storage provided in this area. The Drain Commissioner has requested that the developer provide water quality measures. The measures to be implemented include 3 foot deep sumps on all catch basins and downturned elbows at catch basin outlets. The condominium association will need to maintain these catch basins on an annual basis by cleaning the sumps with a vactor truck. A letter of final approval from the Drain Commissioner should be provided to the City prior to the start of construction.

A portion of the Baer Park area is within the Zone A Special Flood Hazard Area (No base flood elevations determined). The site plan as submitted does not accurately show the Zone A Special Flood Hazard Area as illustrated on the current Flood Insurance Rate Map. The site plan illustrates fill being placed within the Zone A Special Flood Hazard Area. The developer must obtain a permit from the Michigan Department of Environmental Quality for any construction activity within the Zone A Special Flood Hazard Area.

There is an existing public storm sewer system that crosses beneath the proposed parking lot and is used to convey drainage from MDOT and City streets to the Peterson County Drain. The site plan illustrates a series of private storm sewers and catch basins that will connect to the public storm sewer system via an existing catch basin. The proposed storm sewer layout in the parking lot is acceptable. The existing catch basin within the parking lot shall be adjusted to finished grade and a new City Logo manhole frame and cover shall be installed. There is an existing catch basin near the proposed westerly catch basin. This catch basin shall be removed and the storm sewer outlet plugged. Provisions shall be made for overland conveyance of storm water to the Baer Park area in the event that the capacity of the public storm sewer system is exceeded. These provisions should include providing a low point along the westerly edge of pavement and providing slope stabilization at the potential overflow location.

The parking lot grading plan is acceptable to the Engineering Department. However, the proposed grading along the east and north wall of the building at 525 Superior Street is incomplete. There are existing retaining walls and stairways that were removed by the previous developer. The removal of these should be shown on the site plan. In addition, a man door has been installed in the north wall of 525 Superior Street on the basement level. This door has an exit elevation of 603.00. The proposed grading plan illustrates approximately 7 feet of fill being placed in front of this door. The grading plan should be updated as required to accurately reflect the fill that will be placed against the east and north building walls. The man door will need to be relocated to the west building wall to permit this grading to occur. In addition, there is a catch basin on the public storm sewer line near the north building wall of 525 Superior Street. This catch basin needs to be adjusted to finished grade and equipped with a new City Logo manhole frame and cover. The proposed change in finished grade is approximately 9 feet. The manhole should be reconstructed with a riser section diameter that matches the existing diameter, but is no less than 4 feet. The new riser section shall be equipped with steps to provide interior access.

Sewer Department Review:

APPROVED AS NOTED

A new sewer service must be installed to serve the building at 525 Superior Street at the time that development occurs. It is recommended that sewer service for this building be connected

to the existing 8-inch sanitary sewer in Superior Street. The Public Utility Rules, Regulations, and Policies of the City of South Haven shall be followed in providing sewer service to this development.

If the lower level of 525 Superior Street is converted to enclosed parking, any floor drains must be disconnected from the building's sanitary sewer piping to prevent storm water runoff from entering the sanitary sewer system. In addition, the roof drain system should be reviewed by the City's plumbing inspector and connections to the building's sanitary sewer piping, if found, must be removed.

Water Department Review:

APPROVED AS NOTED

A new water service must be installed to serve the building at 525 Superior Street at the time that development occurs. It is recommended that water service for this building be connected to the existing 6-inch water main in Superior Street. The Public Utility Rules, Regulations, and Policies of the City of South Haven shall be followed in providing water service to this development.

Street Department Review:

REVISE AND RESUBMIT

There are four existing driveways providing site access along Superior Street. All existing driveways must be removed and closed during Phase I of street work. The new sidewalk shall be continuous across the new driveway and match the concrete pavement thickness of the driveway. The curb and gutter shall be terminated on each side of the sidewalk with a standard dub down. Barrier free ramps at the driveway are not required.

A new barrier free ramp shall be installed to align with the west sidewalk on School Street. The tactile warning plates shall be cast iron. Plastic or imprinted concrete tactile warnings are not permitted. The location of the proposed driveway is not acceptable because it interferes with proper construction of the new barrier free ramp. The driveway location needs to be moved easterly to avoid conflicting with the barrier free ramp location.

The proposed driveway construction shall comply with Section 74-132(a) of the City of South Haven Code of Ordinances which states: The design, location, construction and operation of driveways and related construction shall meet the requirements of the state department (of) highways rules pertaining to driveways. The current rules promulgated by the Michigan Department of Transportation are the Administrative Rules regulating Driveways, Banners and Parades, effective on November 30, 1998. Design features are outlined in R247.233 and illustrated in Figure 1. R247.251 requires commercial driveway surfacing to include curb and gutter. The driveways shall be constructed with MDOT F-4 concrete curb and gutter radii and with MDOT, Detail M concrete gutter pan across the openings. Standard plans for these features may be found on the MDOT web site. The design feature dimensions shall be in accordance with R247.241, Table 2, as a minimum. The entering radius must be increased to 20 feet, minimum. The driveway width at the sidewalk must be 25 feet for two way access per Section 1716.1.i of the Zoning Ordinance.

The developer has been provided with permit requirements regarding work in the City road right-of-way. A right-of-way permit is required prior to commencing any work in the Superior Street right-of-way.

CITY OF SOUTH HAVEN
SITE PLAN REVIEW FORM
ZONING ADMINISTRATOR/PLANNING CONSULTANT REVIEW

PRELIMINARY SITE PLAN XX FINAL SITE PLAN XX

Date of Submittal June 3

Date of PC Review June 20

Name of Applicant Erie Street LLC

Address of Applicant 75 00 Q Avenue, Kalamazoo, MI

Applicant Telephone No. 269.217.0987

Project Name (if any) Central Lofts

Brief Project Description Renovation and completion of Central Loft Condominiums

CONTENT ACCEPTABILITY – PRELIMINARY SITE PLAN – SEC. 1403, pg 48

		<u>Provided</u>	<u>Not Provided</u>	<u>Not Required</u>
1.	Legal description of property	<u> X </u>	<u> </u>	<u> </u>
2.	Small scale sketch of properties, streets, and uses of land within ½ mile of the area	<u> X </u>	<u> </u>	<u> </u>
3.	Generalized map showing existing and proposed arrangement of:			
	a. Streets	<u> X </u>	<u> </u>	<u> </u>
	b. Lots	<u> </u>	<u> </u>	<u> X </u>
	c. Access points	<u> X </u>	<u> </u>	<u> </u>
	d. Other transportation arrangements	<u> X </u>	<u> </u>	<u> </u>
	e. Buffer strips	<u> X </u>	<u> </u>	<u> </u>
	f. Natural characteristics	<u> X </u>	<u> </u>	<u> </u>
	g. Signs – location and lighting	<u> X </u>	<u> </u>	<u> </u>
	h. Buildings	<u> X </u>	<u> </u>	<u> </u>
4.	Sketch building elevations	<u> </u>	<u> </u>	<u> X </u>
5.	A narrative providing:			
	a. Objectives of the proposal	<u> X </u>	<u> </u>	<u> </u>
	b. Number of acres allotted to each proposed use, and gross area in buildings, structures, parking, public and/or private streets and drives, and open spaces	<u> </u>	<u> </u>	<u> X </u>
	c. Dwelling unit densities by type	<u> </u>	<u> </u>	<u> X </u>
	d. Proposed method of providing sewer and water service, as well as other public and private utilities	<u> X </u>	<u> </u>	<u> </u>
	e. Proposed method of providing storm drainage	<u> X </u>	<u> </u>	<u> </u>
	f. Proposed method of revegetating open land areas, both pre-existing and newly created, to a stable condition	<u> X </u>	<u> </u>	<u> </u>
6.	Is the content of the site plan acceptable in relation to the size and complexity of the project? <u> X </u> Yes <u> </u> No			
	If no, what additional information is needed?			

Review performed by Linda Anderson Date June 4, 2013
SITE PLAN REVIEW FORM

ZONING ADMINISTRATOR/PLANNING CONSULTANT

CONTENT ACCEPTABILITY – FINAL SITE PLAN – Sec. 1405, pg 50

	<u>Provided</u>	<u>Not Provided</u>	<u>Not Required</u>
1. Legal description of property	___x___	_____	_____
2. Small-scale sketch of properties, streets, and use of land within ½ mile of the area	___x___	_____	_____
3. A map at a scale not to exceed 1" = 200', including the following items:			
a. Date site plan was prepared	___x___	_____	_____
b. Name, address, and seal of preparer	___x___	_____	_____
c. The topography of the site at a minimum of 5' intervals and its relationship to adjoining lands	___x___	_____	_____
d. Existing man-made features	___x___	_____	_____
e. Dimensions of setbacks, locations, heights, and size of buildings and structures	_____	_____	___x___
f. Street right-of-ways, indicating proposed access routes, internal circulation, and relationship to existing right-of-ways	___x___	_____	_____
g. Proposed grading	___x___	_____	_____
h. Location and type of drainage, sanitary sewers, storm sewers, and other utilities	___x___	_____	_____
i. Location and type of fences, landscaping, buffer strips, and screening	___x___	_____	_____
j. Location and type of signs and on-site lighting	___x___	_____	_____
k. Proposed parking areas and drives. Parking areas shall be designated by lines showing individual spaces, and shall conform with Article XVIII	___x___	_____	_____
l. Easements, if any	___x___	_____	_____
m. Dimensions and number of proposed lots	_____	_____	___x___
4. Building elevations	_____	_____	___x___
5. A narrative providing those items required for a preliminary site plan	___x___	_____	_____
6. Is the content of the site plan acceptable in relation to the size and complexity of the project? ___x___ Yes _____ No			
If no, what additional information is needed?			

Review performed by Linda Anderson Date June 4, 2013

SITE PLAN REVIEW
ZONING ADMINISTRATOR/PLANNING CONSULTANT REVIEW

ZONING ORDINANCE COMPLIANCE

Preliminary Site Plan Final Site Plan

Project name, if any _____

Project location 500 Erie Street

Brief project description Renovation and Completion of Central Lofts Condominiums

	<u>Requirement</u>	<u>Proposal</u>
Use Regulations	Permitted use in RM-1	_____

Comments _____

Lot Area	NA	_____
----------------	----	-------

Comments _____

Lot Width	NA	_____
-----------------	----	-------

Comments _____

Lot Area Coverage	NA	_____
-------------------------	----	-------

Comments _____

Front Yard	NC	_____
------------------	----	-------

Comments _____

Side Yards	NC	_____
------------------	----	-------

Comments _____

Rear Yard	NC	_____
-----------------	----	-------

Comments _____

Height	NC	_____
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Comments _____

Off-Street Parking	54	86
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Comments Variance granted for parking space size previously

Rezoning needed? No _____

Special Use Permit needed? No; Condo approval granted in 2008 _____

Variations needed? Not at this time _____

Is the proposed project, as represented on the submitted site plan, in compliance with all applicable provisions of the zoning ordinance? Yes No If no, explain:

Review performed by ___Linda Anderson_____ Date ___June 4, 2013_____

SITE PLAN REVIEW